

SPENCE WILLARD



65 Howgate Road, Bembridge, Isle Of Wight, PO35 5QU

A superbly modernised family home with character and exceptional open-plan living space, enclosed gardens and sea glimpses.

VIEWING

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Built in 1935 of red brick elevations with pebble-dash render, the property has been extensively modernised and extended, now featuring a new porch and a stunning open-plan kitchen, dining and living room with sliding doors opening onto the garden.

Throughout the house, original character blends seamlessly with contemporary materials and finishes, including underfloor heating, high-quality aluminium sliding doors, remote-operated Velux skylights and beautifully styled kitchen and bathroom suites. Storage has been cleverly incorporated, utilising reclaimed and original materials to create comfortable and practical family living spaces.

The property sits well back from the road, providing ample parking on a gravelled driveway. To the rear is an enclosed garden with a large terrace, timber-clad outbuilding and the added bonus of a professionally installed basketball net with prepared mini court and skate ramp – both of which could potentially be repurposed as bases for further outbuildings or additional terrace.

The location benefits from sea views from the upper floors and is conveniently positioned near Foreland Beach, offering fantastic coastal walks towards Culver Down or along to Bembridge village and harbour. The property is also within easy reach of the amenities of Bembridge village, including shops, cafés and pubs.



Accommodation

Ground Floor

Entrance / Porch

A welcoming hallway with Velux window and generous cloak storage. Underfloor heating and luxury vinyl flooring run through the open-plan living areas.

Kitchen, Dining and Living Area

An impressive open space with an exposed brick wall and large sliding doors overlooking the garden. Two remote-operated Velux skylights with climate control provide excellent natural light. A freestanding log-burning stove set on a slate hearth forms a cosy focal point. The sitting area comfortably accommodates a large L-shaped sofa, with ample space for a dining table to one side overlooking gardens. The kitchen is fitted with a range of undercounter storage units with oak worktops and tiled splashbacks. There is a freestanding oven with four ring gas hob and extractor hood, integrated 1½ bowl ceramic sink with mixer tap and space and plumbing for a dishwasher, American-style fridge freezer.

Utility Room

With side access and space and plumbing for stacked washer and dryer appliances, additional storage and a W.C.

Family Room / Bedroom 4

The front room with deep bay window is dual aspect features a log-burning stove set on a terracotta-tiled hearth, with white walls, deep skirting boards and picture rails. Currently arranged as a bedroom it could make an excellent sitting room or family room.

First Floor

Carpeted stairs rise to a galleried landing with hatch access to a large loft space. Original exposed floorboards extend into the principal bedroom.

Bedroom 1

An attractive double bedroom with a built-in walk-in wardrobe and additional high-level storage. Sliding doors provide access to the flat roof and views over the garden.

Bedroom 3

A bright double bedroom with high-level storage, a painted timber-clad feature wall and large picture window overlooking the garden with far-reaching views.

Bedroom 2

A generous double bedroom with built-in wardrobe storage and views between neighbouring houses towards grazing fields and to the English Channel.





Shower Room

Comprising a tiled shower enclosure, floor and wall tiling, a vintage-style wall-mounted wash basin and heated towel rail.

Family Bathroom

An attractive suite including a freestanding slipper bath with shower attachment, exposed brick feature wall, concealed cistern W.C. and wash basin.

Outside

The front of the property provides ample parking on a gravelled driveway, with access on both sides of the house leading to the enclosed rear garden. Boundaries are defined by fencing, mature shrubs and specimen trees.

A large terrace accessed from the sliding doors provides an ideal space for outdoor dining and entertaining, enjoying a sunny evening aspect. Beyond the terrace is a substantial lawn. At the far end of the garden is a competition-standard, spring-loaded, in-ground basketball net with sports court laid on matting over a concrete foundation. Adjacent is a concrete-formed half pipe skate ramp. Both have substantial foundations and could potentially be repurposed for alternative structures or decking if required.

Services

Mains electricity, water and drainage. Gas-fired central heating with radiators, together with underfloor heating in the extension.

Tenure

The property is offered freehold

Council Tax

Band E

EPC Rating

C

Postcode

PO35 5QU

Viewings

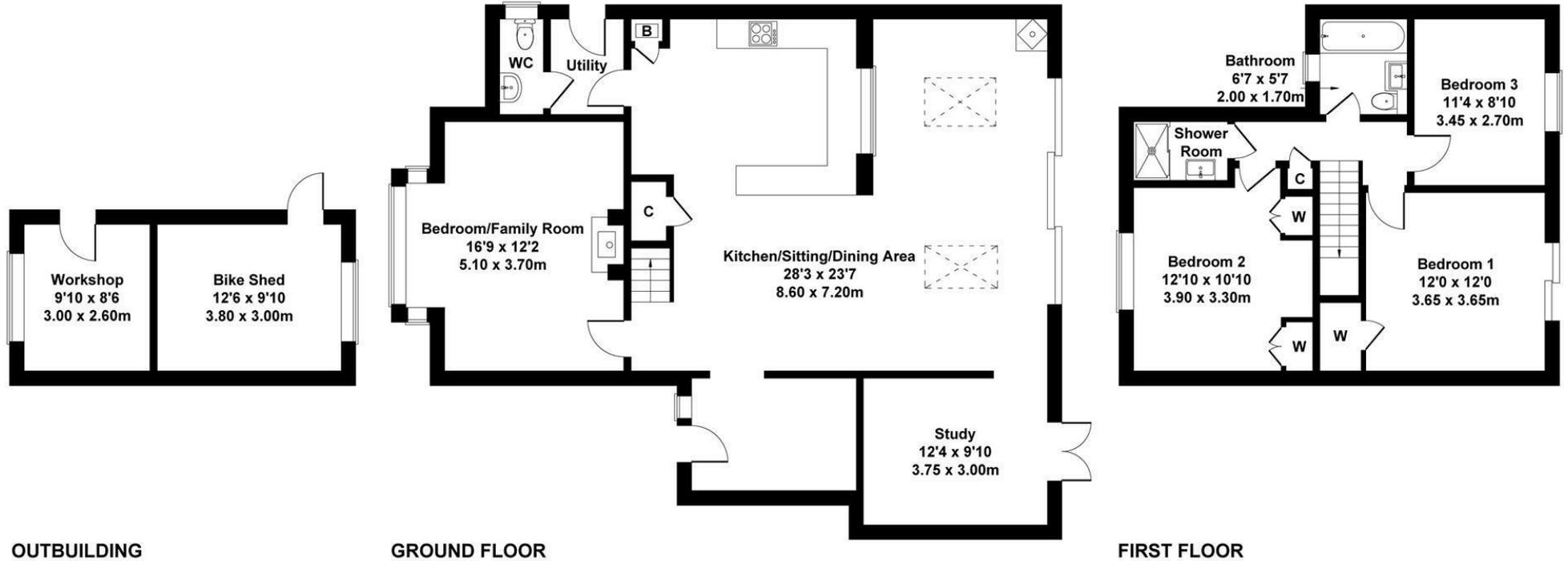
Strictly by prior arrangement via the sole selling agent Spence Willard.





65 Howgate Road

Approximate Gross Internal Area
1970 sq ft - 183 sq m



SKETCH PLAN FOR ILLUSTRATIVE PURPOSES ONLY
All measurements walls, doors, windows, fittings and appliances, their sizes and locations, are approximate only. They cannot be regarded as being a representation by the seller, nor their agent.
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